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Avondale Drive, Tyldesley, Manchester

Offers In The Region Of £210,000



This two-bedroom semi-detached TRUE bungalow is located in the highly sought-after and desirable area of Astley, off Coach Road. The property boasts a prime position within walking distance of local amenities and close proximity to the A580, making it ideal for easy commuting.

Inside, you'll find a spacious entrance hallway leading to a generously sized lounge, a well-appointed kitchen/ dining area with a door opening to the rear garden, a master bedroom and a second bedroom. The modern shower room adds to the contemporary feel of the home.

Externally, the bungalow offers a low-maintenance front garden and a driveway that leads to a single detached garage. The rear garden is also designed for low maintenance, providing a perfect space for relaxation.

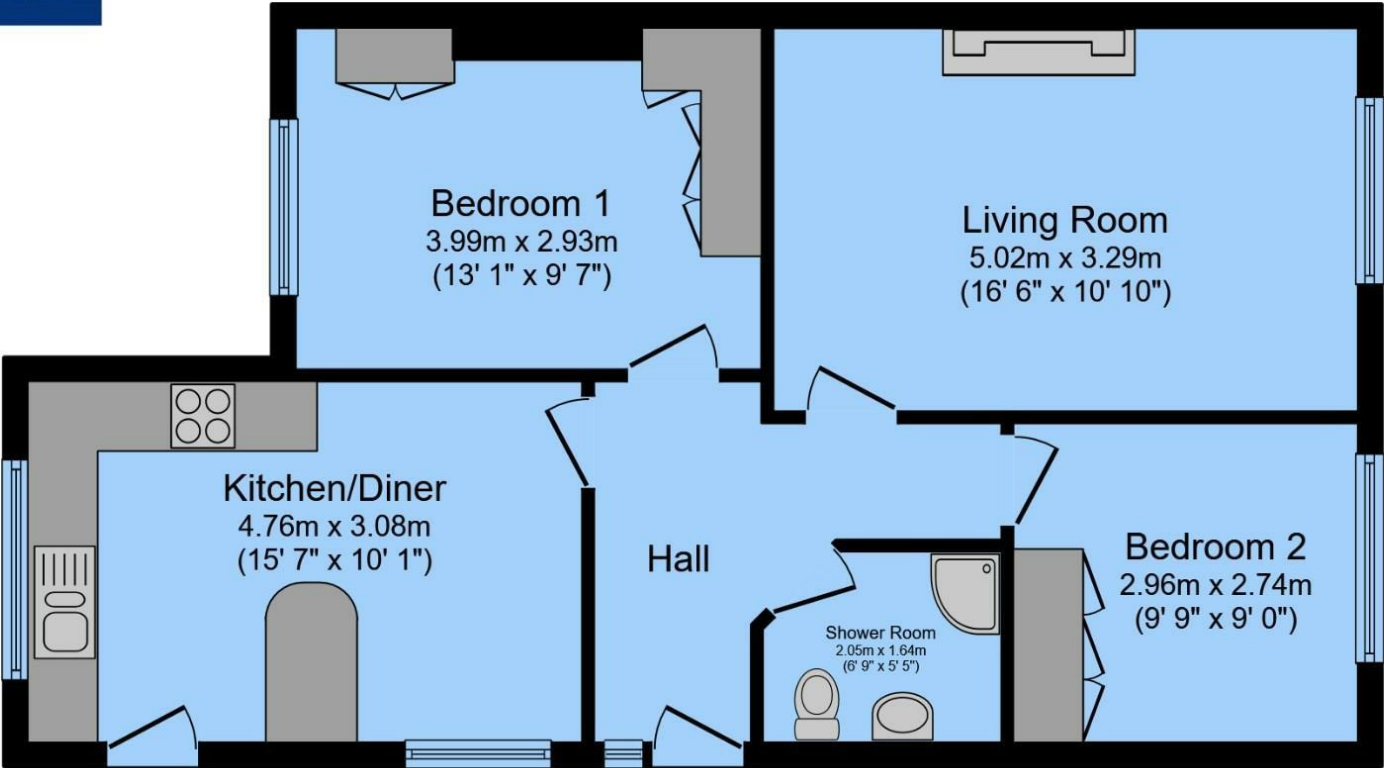
KEY FEATURES

- SOUGHT AFTER LOCATION
- TRUE BUNGALOW
- IN NEED OF MODERNISATION
 - NO CHAIN
 - OFF ROAD PARKING
 - GARAGE
 - CUL-DE-SAC
- CLOSE TO AMENITIES



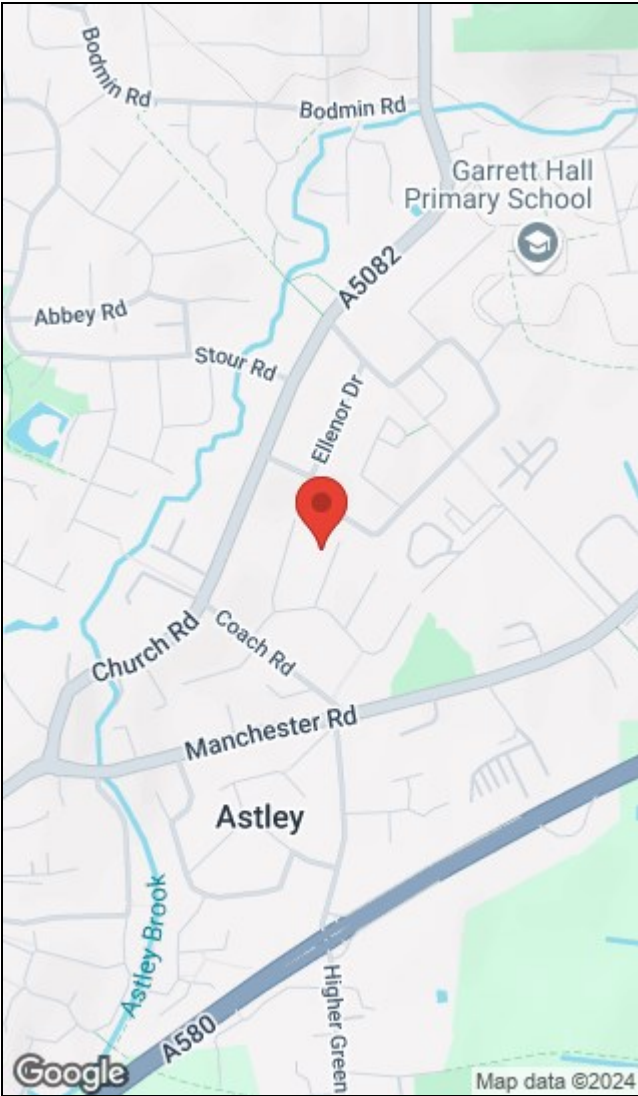






Total floor area 63.0 m² (678 sq.ft.) approx

This floor plan is for illustrative purposes only. It is not drawn to scale. Any measurements, floor areas (including any total floor area), openings and orientation are approximate. No details are guaranteed, they cannot be relied upon for any purpose and they do not form part of any agreement. No liability is taken for any error, omission or misstatement. A party must rely upon its own inspection(s). Powered by www.focalagent.com



Energy Efficiency Rating			Environmental Impact (CO ₂) Rating		
	Current	Potential		Current	Potential
Very energy efficient - lower running costs			Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A			(92 plus) A		
(81-91) B			(81-91) B		
(69-80) C			(69-80) C		
(55-68) D			(55-68) D		
(39-54) E			(39-54) E		
(21-38) F			(21-38) F		
(1-20) G			(1-20) G		
Not energy efficient - higher running costs			Not environmentally friendly - higher CO ₂ emissions		
England & Wales EU Directive 2002/91/EC			England & Wales EU Directive 2002/91/EC		

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